



Form 1 – Application for Approval of Development

Swan and Canning Rivers Management Act 2006 – Part 5 – section 72(1)

1. Applicant details

The applicant is the person with whom the department, on behalf of the Chief Executive Officer, will correspond, unless an authorised agent has been appointed to act on behalf of the applicant, in which case correspondence will be sent direct to the agent.

Name	Jacki Harry		
Position (if applicable)	Director		
Organisation (if applicable)	Lo Quay River Cafe		
Contact person	[REDACTED]		
Postal address	[REDACTED]		
Town/Suburb	[REDACTED]	State	WA Postcode 6010
Telephone	Work [REDACTED]	Mobile	[REDACTED]
Email	[REDACTED]		

I give authority for an agent (as identified at item No. 3) to act on my behalf during the assessment of the application ☐ YES ☒ NO

If 'YES', please provide Agent's details at item No. 3

Applicant signature

[REDACTED]

Date

19.06.2025

2. Landowner details

All owner(s) of the land **must sign this application**. Where land is owned by the Crown or has a management order granted to a local government or other agency, this application must be signed by the relevant landowner or management body as required under section 72(5)(a) of the Act. If there are more than two landowners, please provide the additional information and signature(s) on a separate page.

Details of first landowner

Name	State of Western Australia (see letter attached)		
Position (if applicable)	c/- Senior State Land Officer		
Organisation (if applicable)	Department of Planning, Lands & Heritage		
Contact person	Steven De Haer		
Postal address	140 William St		
Town/Suburb	Perth	State	WA Postcode 6000

I consent to this application being made.

First landowner signature

[REDACTED]

Date

[REDACTED]

Details of second landowner (if applicable)

Name	City of Canning		
Position (if applicable)			
Organisation (if applicable)	City Of Canning		
Contact person	Nikki Crook		
Postal address	Locked Bag 80		
Town/Suburb	Welshpool	State	WA Postcode 6986

I consent to this application being made.

Second landowner
signature

[REDACTED]

Date

23.06.2025



3. Authorised agent details (if applicable)

The applicant must sign the form and tick the authorisation under item No. 1 to provide authority for an appointed authorised agent to act on their behalf.

Details of authorised agent

Name			
Position (if applicable)			
Company/agency (if applicable)			
ACN/ABN (if applicable)			
Postal address			
Town/Suburb		State	Postcode
Telephone	Work	Mobile	
Email			
Authorised Agent signature		Date	

4. Location of proposed development

Certificate of title information	Volume	LR3161	Folio	88
	Diagram/plan/deposit plan no.	66581		
Lot No.(s)	Lot 300			
Location	Fern Rd			
Reserve No.(s) (if applicable)				
Street No.(s) and name	223 Fern Rd			
Town/Suburb	Wilson			
Nearest road intersection	Riverton Dve East			

5. Details of proposed development

Please provide a written description of the proposed development (refer to the Development Application Guidelines for further details on what information to include in this section).

Estimated cost of development	\$500,000.00
Current use of land	The land is currently used as a cafe, and has been since 2011
Proposed development	Improvement to the kitchen area of the cafe, establishment of a kiosk for take away options and a more weather-proof patio roof and improved storage

OFFICIAL



Department of Planning,
Lands and Heritage



Our ref:
Enquiries:

Case 2501858

Jacki Harry
Lo Quay River Cafe
223 Fern Road
Wilson, WA 6107

Dear Jacki,

REQUEST FOR LANDOWNER CONSENT TO LODGE APPLICATION FOR APPROVAL OF DEVELOPMENT OVER PORTION OF LOT 300 ON DEPOSITED PLAN 66581 – WILSON, CITY OF CANNING

The Department of Planning, Lands and Heritage (Department) has received your Application for Approval of Development, seeking landowner consent for works associated with the renovation of Lo Quay River Café, which is located on a portion of Lot 300 on Deposited Plan 66581 in the City of Canning.

It is noted that Lot 300 on DP 66581 is leased by the City of Canning for the purpose of “Café and Kiosk”, and that the City of Canning has entered into a sublease with NEDGO Pty Ltd.

Please accept this letter as confirmation of landowner consent to lodge the relevant your Application for Approval of Development form. Note that the Department will not be responsible for any fees or costs associated with preparation and lodgement of plans and/or any eventual development.

This letter does not represent approval or consent for planning purposes under the relevant local government and/or region scheme. Further, in the event that approval is granted for the proposal, this letter is not to be taken as acknowledgement of (or consent for) the commencement or carrying out of the proposed development or to any modification of the tenure or reservation classification of the Crown land component.

The proponent must comply with the requirements of all other relevant legislation, including but not limited to the *Swan and Canning Rivers Management Act 2006*, in anticipation of the proposed works.

OFFICIAL

Should you have any further queries regarding this matter, please do not hesitate to contact

[REDACTED]

Yours sincerely

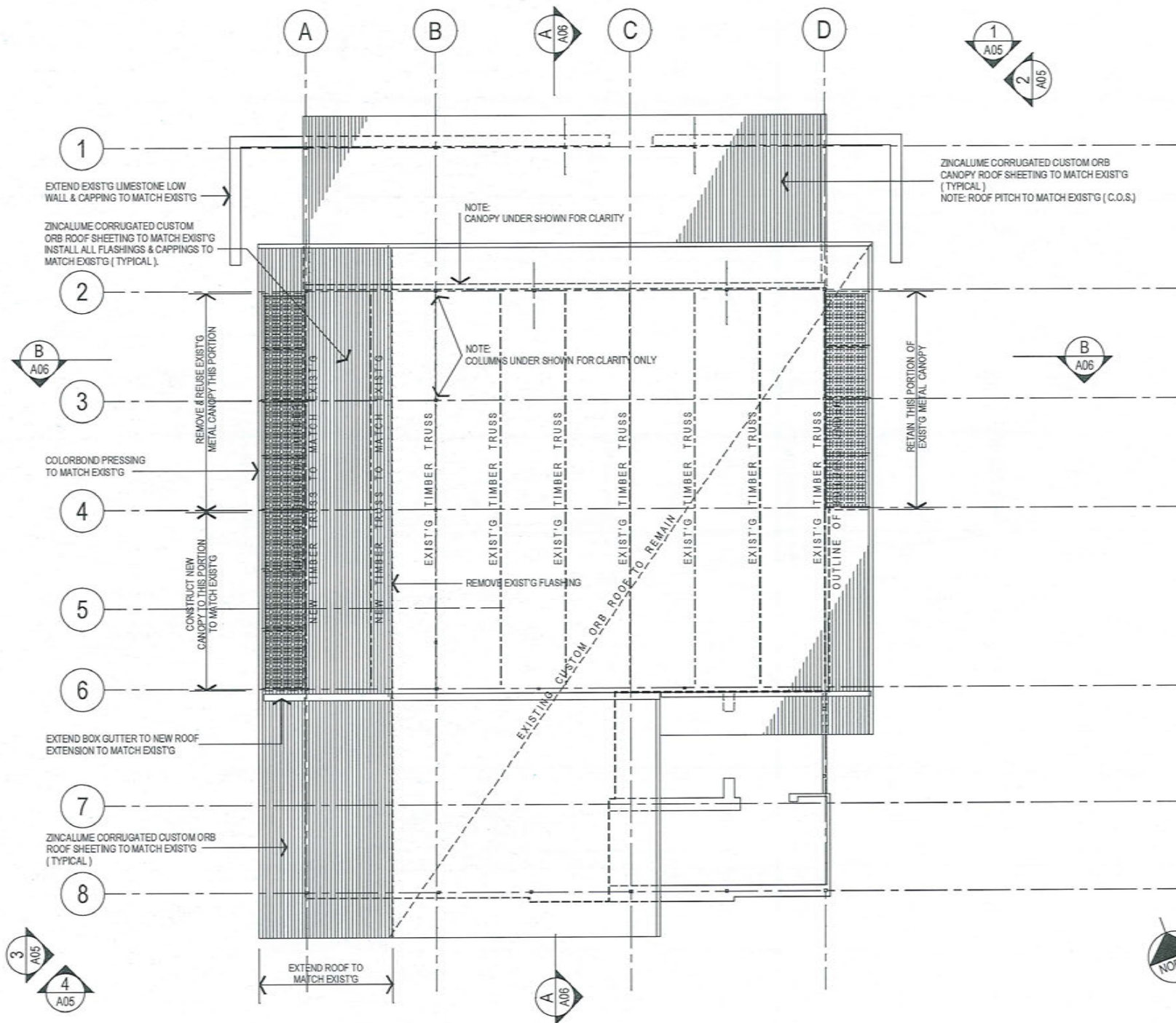
[REDACTED]

[REDACTED]

Land Use Management

20th June 2025




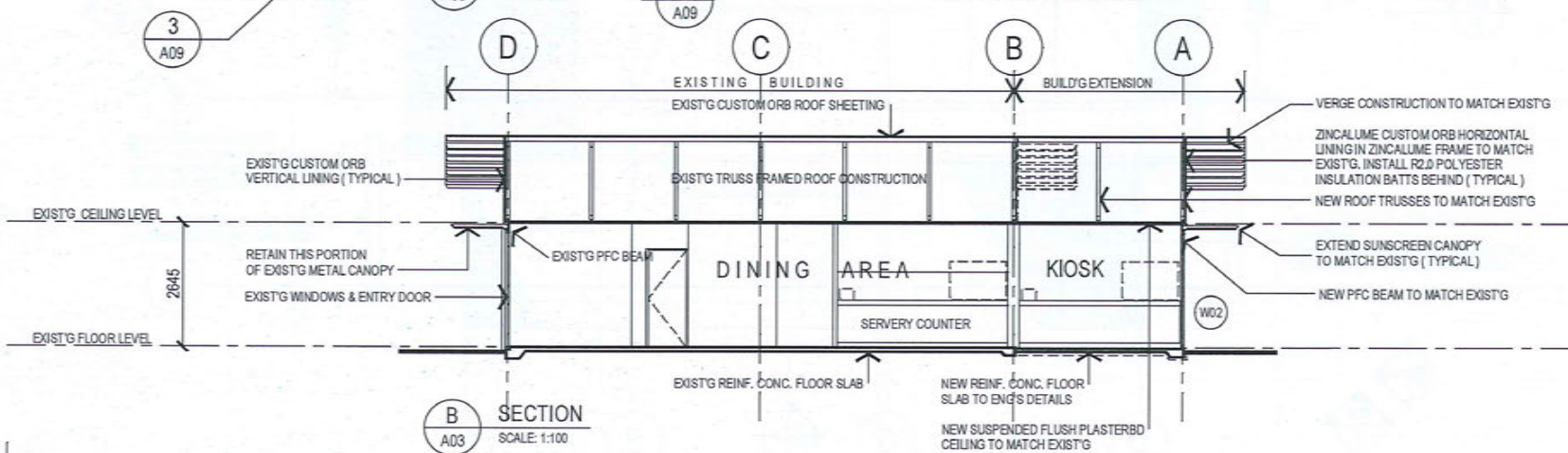
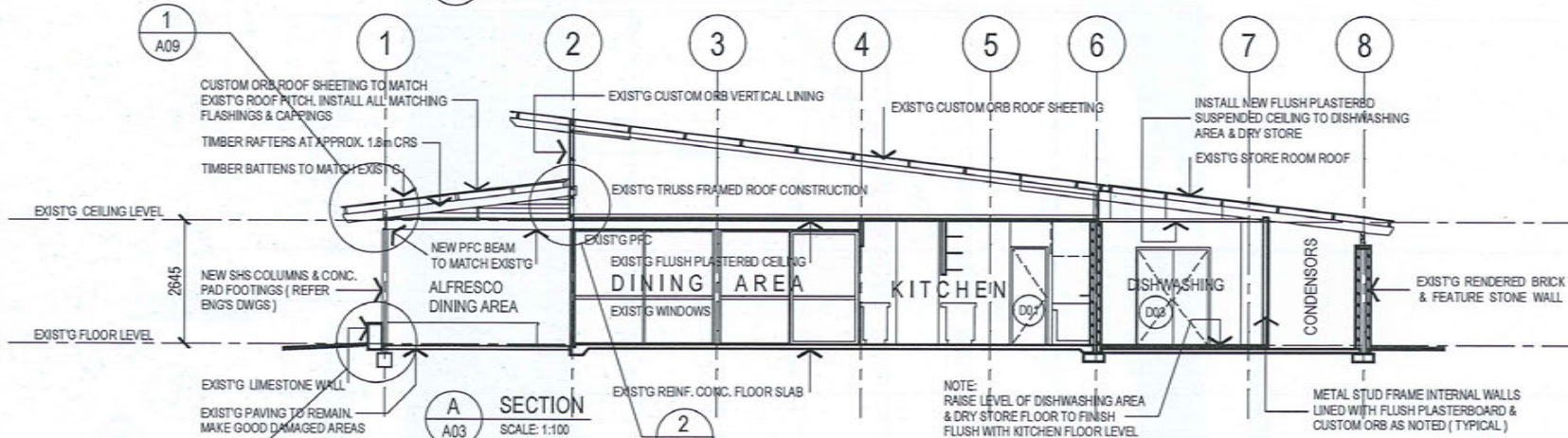
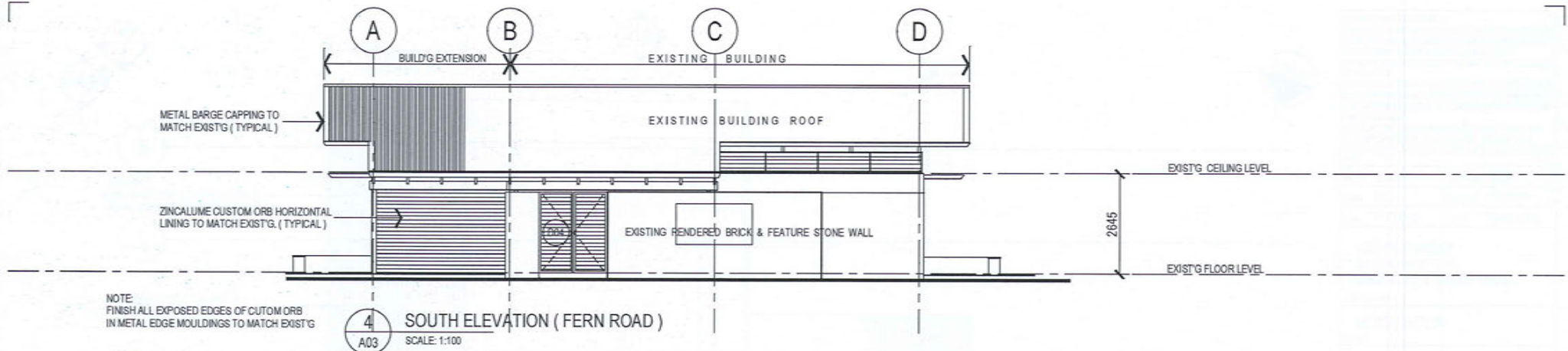


NOTES:

ROOFING CONTRACTOR TO PROVIDE ALL FLASHINGS TO MECHANICAL, ELECTRICAL & PLUMBING ROOF PENETRATIONS AS REQ'D.

ALL EXTERNAL RWP'S SHALL BE 0.8mm ZINCALUME

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Project Title:	
ALTERATIONS TO LO QUAY CAFE	
Client:	
NEDGO Pty Ltd	
Drawing:	
ROOF PLAN	
Project Address:	
FERN ROAD & BRIDGE SREET. WILSON, W.A. 6107 CITY OF CANNING	
Scale: 1:100 @ A3	Date: MARCH 2025
Drawn: RJC	Revision: 22/05/2025
Job No: J003024	Sheet No: A04
Notes: ALL EXIST'G STRUCTURES ARE DRAWN FROM EXIST'G DRAWINGS AND/OR AS MEASURED ON SITE. FOR EXACT SIZES, DIMENSIONS, LOCATIONS & THE LIKE CHECK ON SITE. CHECK DIMENSIONS ON SITE PRIOR TO FABRICATION AND CONSTRUCTION. DO NOT SCALE OFF DRAWINGS. FIGURE DIMENSIONS SHALL BE READ IN PREFERENCE TO SCALING. ALL WALL THICKNESSES AS SHOWN DO NOT INCLUDE WALL FINISHES (EG. RENDER, TILING & ETC.). DRAWINGS MUST BE READ IN CONJUNCTION WITH ALL RELEVANT SPECIFICATIONS, REPORTS, CONTRACTS & CONSULTANT'S DRAWINGS.	



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Email: Brett@designsbycadd.com.au
Ph: 0410 458 817

Project Title:
ALTERATIONS TO LO QUAY CAFE

Client:
NEDGO Pty Ltd

Drawing:
ELEV.4 & SECTIONS AA & BB

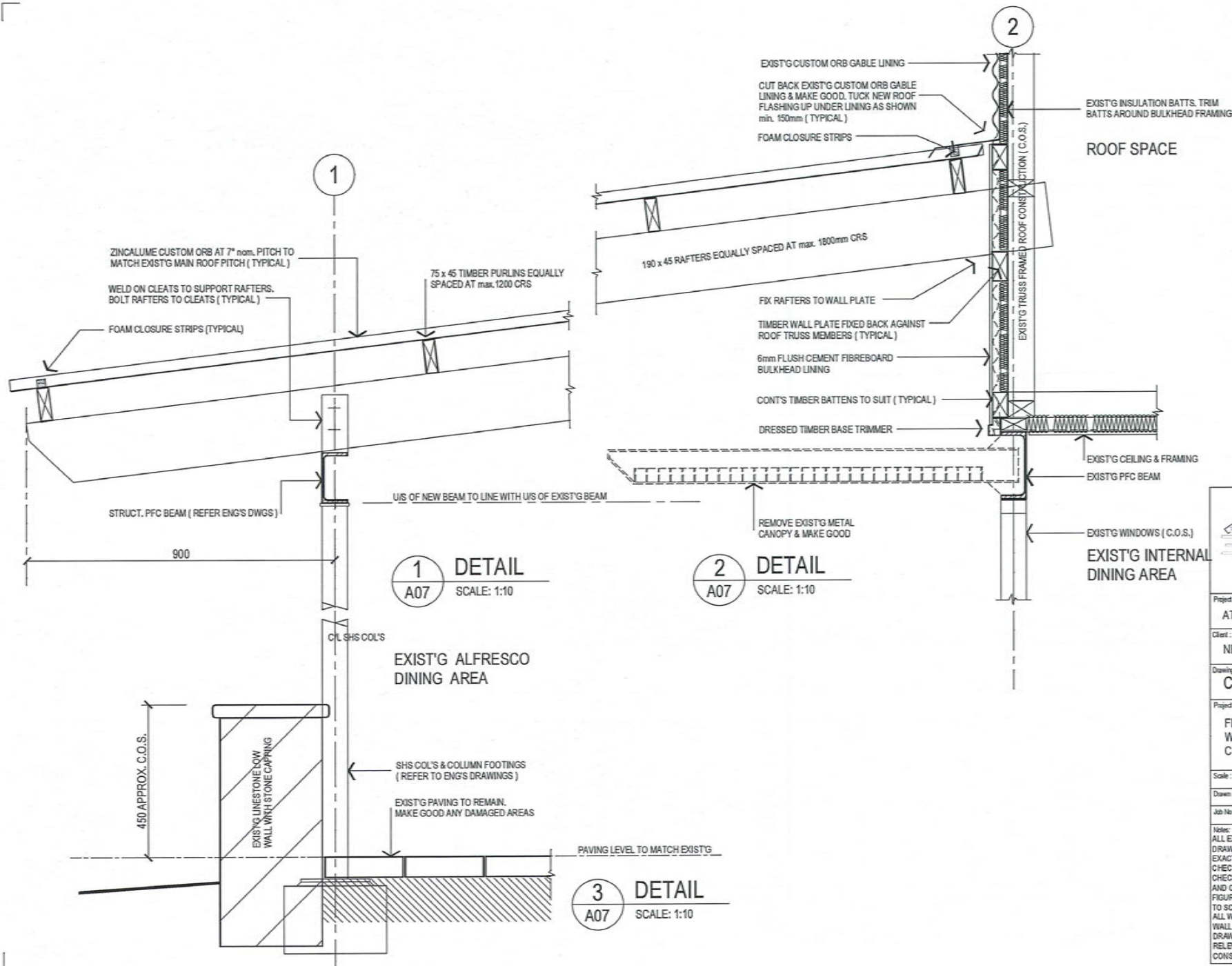
Project Address:
**FERN ROAD & BRIDGE SREET.
WILSON, W.A. 6107
CITY OF CANNING**

Scale: 1:100 @ A3 Date: MARCH 2025

Drawn: RJC Revision: 22/05/2025

Job No: J003024 Sheet No: A07

Notes:
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CHECK DIMENSIONS ON SITE PRIOR TO FABRICATION AND CONSTRUCTION. DO NOT SCALE OFF DRAWINGS. FIGURE DIMENSIONS SHALL BE READ IN PREFERENCE TO SCALING
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Project Title:	
ALTERATIONS TO LO QUAY CAFE	
Client:	
NEDGO Pty Ltd	
Drawing:	
CONSTRUCTION DETAILS	
Project Address:	
FERN ROAD & BRIDGE SREET. WILSON. W.A. 6107 CITY OF CANNING	
Scale: 1:10 @ A3	Date: MARCH 2025
Drawn: RJC	Revision: 22/05/2025
Job No: J003024	Sheet No: A09
Notes: ALL EXIST'G STRUCTURES ARE DRAWN FROM EXIST'G DRAWINGS AND/OR AS MEASURED ON SITE. FOR EXACT SIZES, DIMENSIONS, LOCATIONS & THE LIKE CHECK ON SITE. CHECK DIMENSIONS ON SITE PRIOR TO FABRICATION AND CONSTRUCTION. DO NOT SCALE OFF DRAWINGS. FIGURE DIMENSIONS SHALL BE READ IN PREFERENCE TO SCALING. ALL WALL THICKNESSES AS SHOWN DO NOT INCLUDE WALL FINISHES (EG: RENDER, TILING & ETC). DRAWINGS MUST BE READ IN CONJUNCTION WITH ALL RELEVANT SPECIFICATIONS, REPORTS, CONTRACTS & CONSULTANT'S DRAWINGS	

LEGEND:

CHECK ON SITE ALL OPENING DIMENSIONS PRIOR TO FABRICATION

UNLESS OTHERWISE NOTED WINDOW FRAMES SHALL BE 100 X 40mm ALUM. BOX SECTIONS. ALL FRAMES TO HAVE SUB-HEADS. (U.O.N.)

ALL GLAZING SHALL BE AS SPECIFIED & CONFORM TO AUSTRALIAN STANDARDS: A S 2208 - SAFETY GLAZING A S 1170 - LOADING CODE

GLAZING SHALL BE VIRIDIAN COMFORT PLUS: 'U' VALUE 7.0; SHGC 0.70

ELEVATION:

SCALE 1:50

DR / WDW NO.**NO. OFF****FRAME TYPE:****DOOR TYPE:****GLAZING:****REMARKS:**

<p>3525 EQ.B' 1000 EQ.B' ALUM. COVER PLATES TO MATCH EXIST'G (TYPICAL) SLIDING CL SHS COL F</p>		<p>3000 EQ.A' 1000 EQ.A' WINDOW STRIP TO MATCH EXIST'G ADHERED TO INSIDE OF GLAZING (TYPICAL) ALUM. COVER PLATES SLIDING CL SHS COL F</p>		<p>1300 CL SHS COL F</p>	<p>1810 SLIDING S F TOP OF PREP. BENCH</p>
W01		W02		W03	W04
1		1		1	1
100mm X 40mm nom. POWDERCOATED ALUM. BOX FRAME (TO MATCH EXIST'G) FULLY GLAZED MANUAL SLIDING DOOR (LOCKABLE)		100mm X 40mm nom. POWDERCOATED ALUM. BOX FRAME (TO MATCH EXIST'G) FULLY GLAZED MANUAL SLIDING DOOR (LOCKABLE)		100mm X 40mm nom. POWDERCOATED ALUM. BOX FRAME (TO MATCH EXIST'G)	100mm X 40mm nom. POWDERCOATED ALUM. BOX FRAME (TO MATCH EXIST'G)
ALL GLAZING TO A.S.		ALL GLAZING TO A.S.		ALL GLAZING TO A.S.	ALL GLAZING TO A.S.

EXIST'G CEILING LEVEL

NEW CEILING LEVEL

ELEVATION:

SCALE 1:50

FLOOR LEVEL

D04		RD1		D03		D02		D01	
1		1		1		1		1	
100mm X 40mm nom. POWDERCOATED ALUM. BOX FRAME (TO MATCH EXIST'G)		STUD FRAMED WALL		PRESSED METAL FRAME		PRESSED METAL FRAME		EXIST'G PRESSED METAL FRAME	
DOUBLE ALUM. FRAMED DOORS FULLY LOUVRED - LOCKABLE		POWDERCOATED LOCKABLE ROLLER DOOR WITH WIND LOCKS		FLUSH PANEL SOLID CORE		FLUSH PANEL SEMI SOLID CORE		DOOR SIZE TO SUIT EXIST'G FRAME FLUSH PANEL SEMI SOLID CORE	

DR / WDW NO.**NO. OFF****FRAME TYPE:****DOOR TYPE:****GLAZING:****REMARKS:**

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Ph: 0410 488 817

Project Title:
ALTERATIONS TO LO QUAY CAFE

Client:
NEDGO Pty Ltd

Drawing:
WINDOW / DOOR SCHEDULE

Project Address:
**FERN ROAD & BRIDGE SREET.
WILSON, W.A. 6107
CITY OF CANNING**

Scale: 1:50 @ A3 Date: MARCH 2025

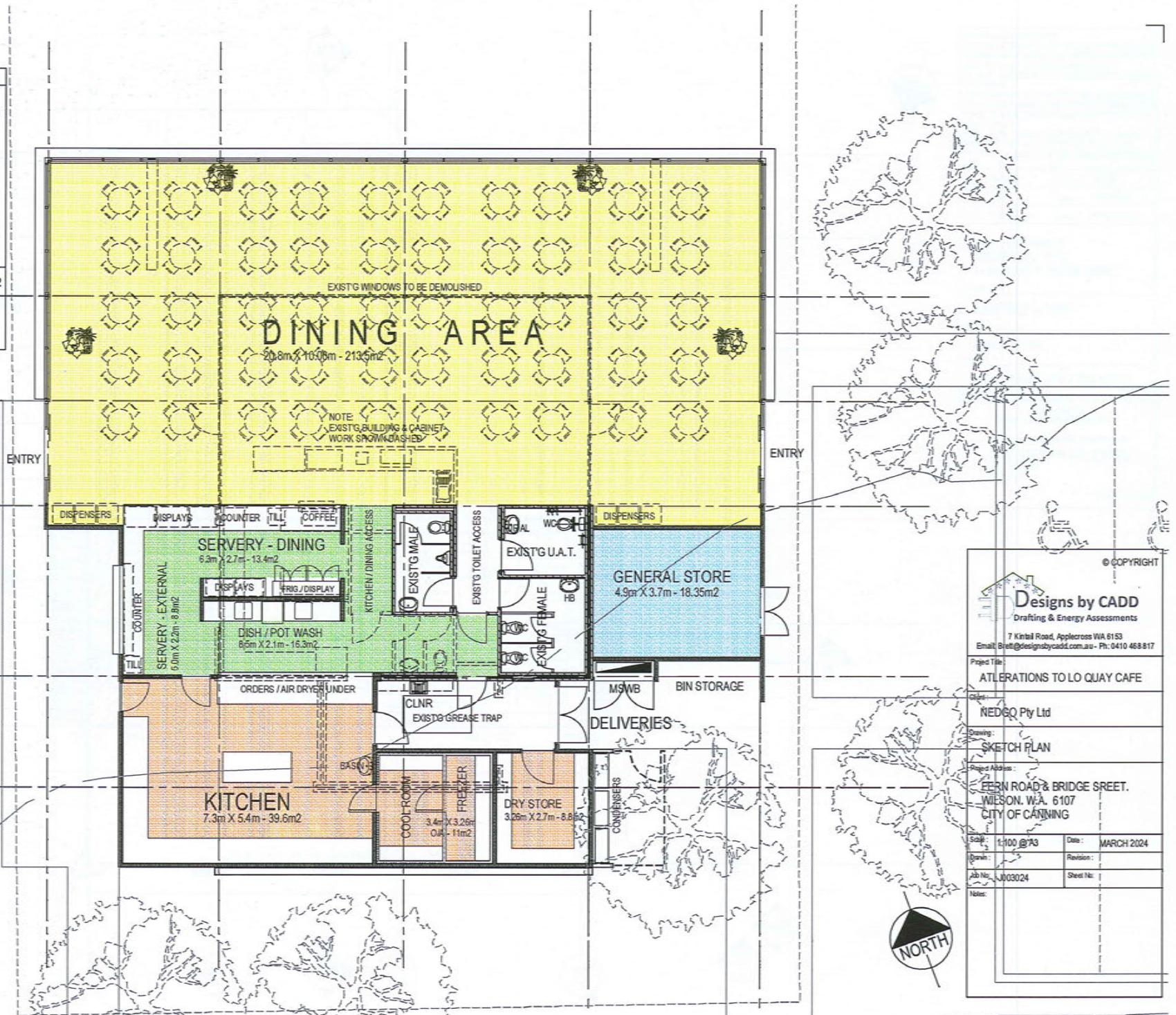
Drawn: RJC Revision: 22/05/2025

Job No: J003024 Sheet No: A08

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DRAWINGS MUST BE READ IN CONJUNCTION WITH ALL RELEVANT SPECIFICATIONS, REPORTS, CONTRACTS & CONSULTANTS DRAWINGS

NAME	AREAS
 PROPOSED DINING	213.5m ²
 PROPOSED KITCHEN; COOL RM & DRY STORE	59.4m ²
 PROPOSED SERVERY	44.4m ²
 PROPOSED STORE	18.35m ²
SITE AREA	676.40m ²
TOTAL O/A BUILDING AREA	383.5m ²
EXISTING PARKING	43
EXISTING DISABLE BAYS	3

NOTE:
NO TREES ARE REQUIRED TO BE
REMOVED FOR THESE ALTERATIONS
ALL VIEWS OF CANNING RIVER &
PLAYGROUND ARE TO REMAIN



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7 Kintail Road, Applecross WA 6153
Email: Brett@designsbycadd.com.au - Ph: 0410 468 817

Project Title:
ALTERATIONS TO LO QUAY CAFE

Client:
NEDSO Pty Ltd

Drawing:
SKETCH PLAN

Project Address:
**ELERN ROAD & BRIDGE STREET,
WILSON, W.A. 6107
CITY OF CANNING**

Scale: 1:100 @ A3 Date: MARCH 2024

Drawn: Revision: Sheet No:

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Notes: